

PROPOSED MIXED USE BUILDING RESIDENTIAL APARTMENTS / RETAIL BUSINESS

**#847 EAST WASHINGTON STREET
NORTH ATTLEBORO, MA 02760
ASSESSOR'S MAP 6, LOT 159**

OWNER
847 EAST WASHINGTON LLC 134 WALCOTT ROAD NORTH ATTLEBORO, MA 02760
PREPARED FOR
847 EAST WASHINGTON LLC 134 WALCOTT ROAD NORTH ATTLEBORO, MA 02760 ATTN: MICHAEL CELESTE

CIVIL ENGINEER:

CMG ENVIRONMENTAL, INC.
67 HALL ROAD
STURBRIDGE, MA 01566
CONTACT: DAVID FAIST, P.E.
(774) 241 - 0901

SURVEYOR:

O'DRISCOLL LAND SURVEYING INC.
43 COTTAGE STREET
MEDWAY, MA 02053
(508) 533 - 3314

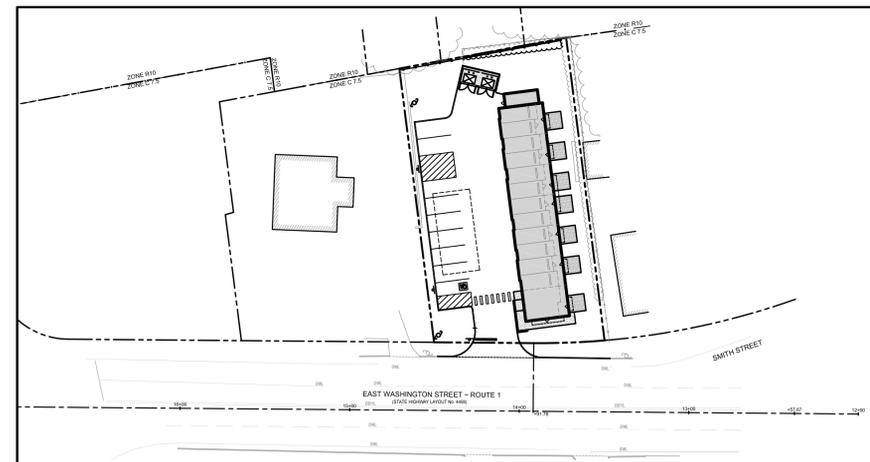
ARCHITECT:

ANNINO INCORPORATED
125 NORTH WASHINGTON STREET
NORTH ATTLEBORO, MA 02760
(508) 643 - 4551



LOCUS MAP

APPROXIMATE SCALE: 1" = 100'

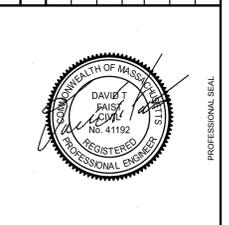


LOCATION PLAN

APPROXIMATE SCALE: 1" = 50'

SHEET #	SHEET NAME
T-1.0	TITLE SHEET
N-1.0	GENERAL NOTES SHEET
1 OF 1	BOUNDARY & TOPOGRAPHIC SURVEY (BY OTHERS)
D-1.0	DEMOLITION PLAN
C-1.0	SITE LAYOUT PLAN
C-2.0	GRADING & DRAINAGE PLAN
C-3.0	UTILITY PLAN
C-4.0	EROSION & SEDIMENT CONTROL PLAN
C-5.0	CONSTRUCTION DETAILS
C-5.1	CONSTRUCTION DETAILS
C-5.2	CONSTRUCTION DETAILS
C-6.0	TRUCK TURN PLAN
A1.0	ARCHITECT FLOOR PLAN

NO.	DATE	DESCRIPTION	BY / CKD



PROPOSED MIXED USE REDEVELOPMENT
847 EAST WASHINGTON STREET
NORTH ATTLEBORO, MA 02760

PREPARED FOR:
847 EAST WASHINGTON LLC
134 WALCOTT RD
NORTH ATTLEBORO, MA 02760

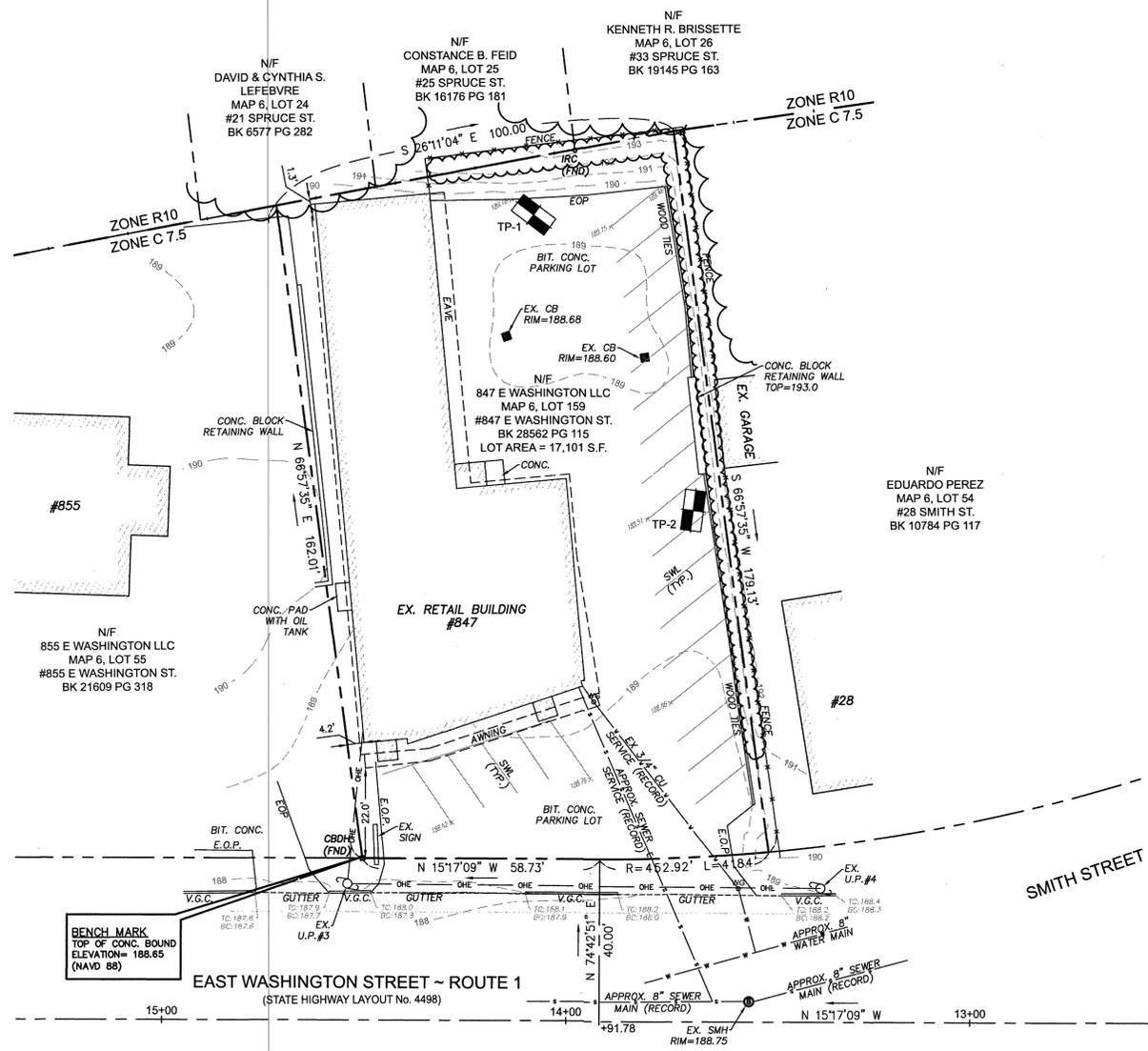
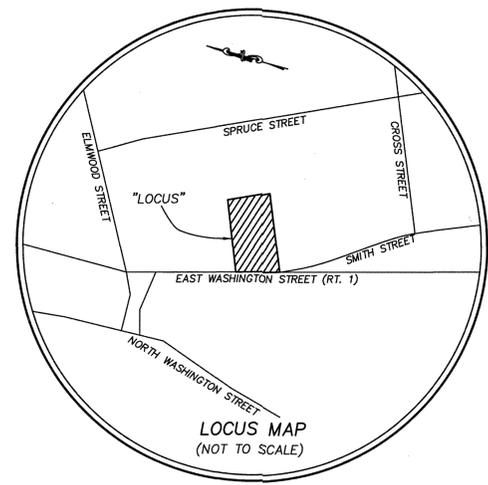
ENGINEERING SERVICES
ENVIRONMENTAL SERVICES
67 Hall Road
Sturbridge, MA 01566
Phone: 774-241-0901
fax: 774-241-0906



ISSUE DATE: 10/22/2025
DRAWN BY: MM CHECKED BY: DF
SCALE: AS NOTED
PROJECT NO.: 2023-315

TITLE SHEET

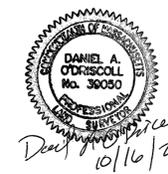
T-1.0



PREPARED FOR: 847 EAST WASHINGTON LLC
 RECORD OWNER: 847 EAST WASHINGTON LLC
 DEED REFERENCE: BRISTOL COUNTY REGISTRY OF DEEDS
 BOOK 28562 PAGE 115
 PLAN REFERENCE: PLAN BOOK 421 PAGE 36
 STATE HIGHWAY LAYOUT No. 4498
 ASSESSORS REFERENCE: MAP 6 LOT 159

ELEVATIONS SHOWN HEREON ARE BASED UPON THE NORTH AMERICAN VERTICAL DATUM OF 1988 (NAVD88).
 HORIZONTAL CONTROL IS BASED UPON THE NORTH AMERICAN DATUM OF 1983 (NAD83).
 BOTH SYSTEMS WERE DERIVED FROM GPS OBSERVATIONS TAKEN IN THE FIELD AND REFERENCED TO THE MASSACHUSETTS CONTIGUOUSLY OPERATING REFERENCE STATION (MACORS) BY EXISTING GRADE, INC., 62 RIEDELL ROAD, DOUGLAS, MA, 01516.

I CERTIFY THAT THE CONDITIONS ON THE LOT AS SHOWN ON THIS PLAN ARE FROM AN ON THE GROUND SURVEY PERFORMED ON APRIL 24, 2025.
 I FURTHER CERTIFY THAT THE LOT DOES NOT LIE WITHIN A FLOOD HAZARD ZONE.

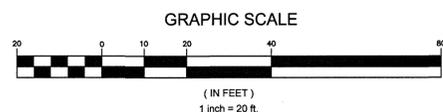


Daniel A. O'Driscoll Oct. 16, 2025
 PROFESSIONAL LAND SURVEYOR DATE

DISTRICT DIMENSIONAL REGULATIONS	
DISTRICT: C7.5 (RETAIL DISTRICTS 7,500 S.F. AREA)	
USE: CLOSED MILITARY SURPLUS STORE	
	REQUIRED
MIN. LOT SIZE	7,500 S.F.
MIN. FRONTAGE	60'
MIN. LOT WIDTH	60'
MIN. LOT DEPTH	100'
MIN. FRONT SETBACK	10'
MIN. SIDE SETBACK	0'
MIN. REAR SETBACK	25'
MAX. BUILDING HEIGHT	4 STY/40'
MIN. OPEN SPACE	25%
MAX. BUILDING COVERAGE	50%

BENCH MARK
 TOP OF CONC. BOUND
 ELEVATION= 188.65
 (NAVD 88)

EAST WASHINGTON STREET ~ ROUTE 1
 (STATE HIGHWAY LAYOUT No. 4498)



LEGEND

- N/F NOW OR FORMERLY
- EX. EXISTING
- FND. FOUND
- INV. INVERT
- BIT. BITUMINOUS
- CONC. CONCRETE
- V.G.C. VERTICAL GRANITE CURB
- E.O.P. EDGE OF PAVEMENT
- SWL SOLID WHITE LINE
- TC TOP OF CURB
- BC BOTTOM OF CURB
- 190--- EXISTING CONTOUR
- SS.SS.X--- EXISTING SPOT GRADE
- OHE--- OVERHEAD ELECTRIC
- U.P. UTILITY POLE
- FENCE
- ⊙ SEWER MANHOLE
- ⊙ WATER GATE
- ⊙ CATCH BASIN
- ⊙ IRON ROD W/ CAP
- ⊙ CONCRETE BOUND W/ DRILL HOLE
- ⊙ SOIL TEST PIT

DIG SAFE NOTE (1-888-344-7233):
 CONTRACTOR REQUIRED TO NOTIFY "DIG SAFE" 72 HOURS PRIOR TO ANY ON-SITE EXCAVATION OR CONSTRUCTION AT 1-888-344-7233. CONTRACTOR SHALL ALSO NOTIFY LOCAL WATER AND SEWER DEPARTMENTS TO MARK OUT THEIR UTILITIES.

NO.	DATE	DESCRIPTION	BY	CHKD

PROPERTY BOUNDARY &
 EXISTING CONDITIONS PLAN
 847 EAST WASHINGTON STREET
 NORTH ATTLEBORO, MA 02760

847 EAST WASHINGTON LLC
 134 WALCOTT RD
 NORTH ATTLEBORO, MA 02760

ENGINEERING SERVICES
 ENVIRONMENTAL SERVICES
 67 Hail Road
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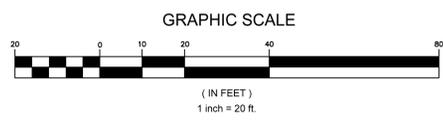
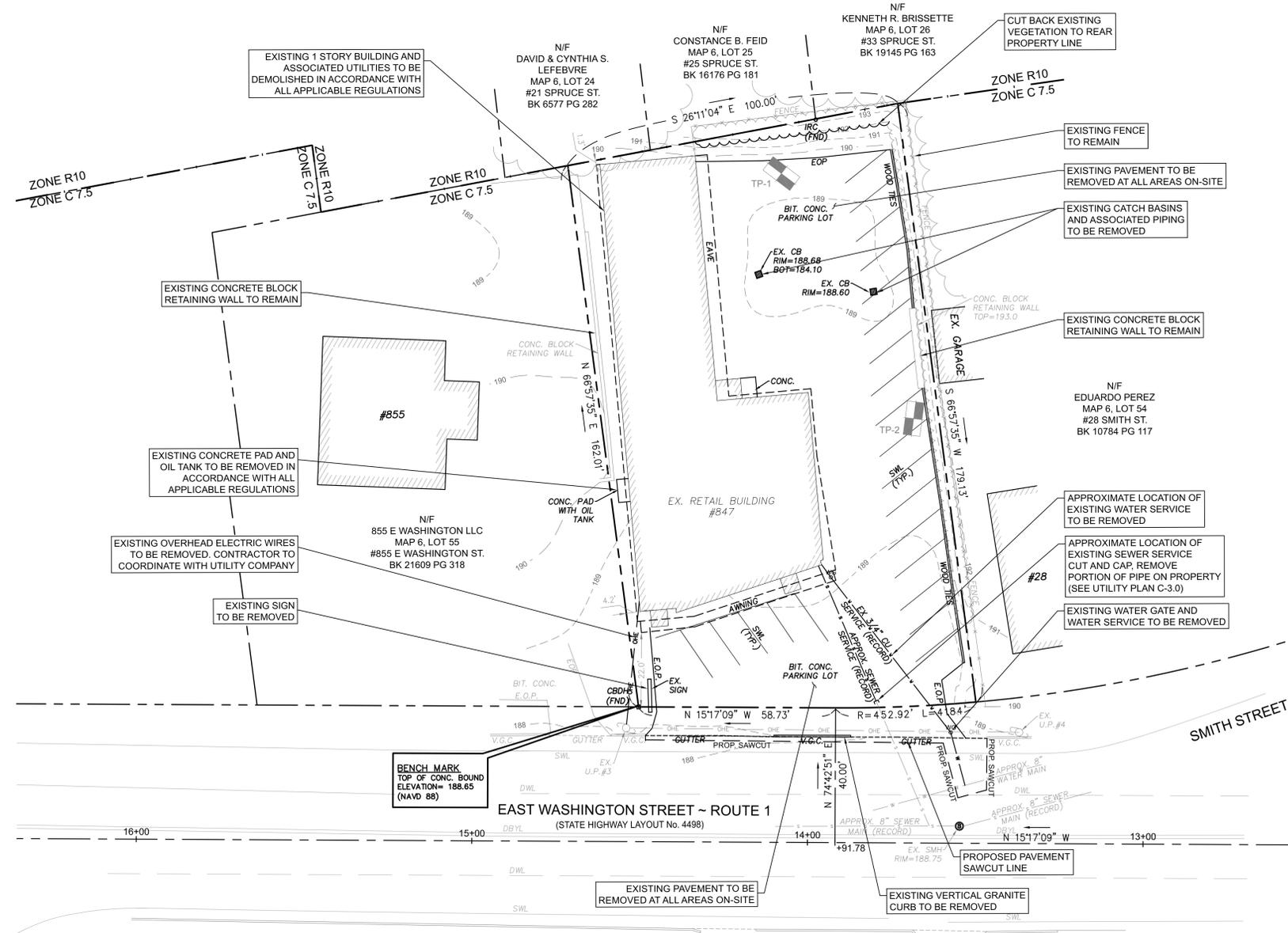


O'DRISCOLL
 LAND SURVEYING Inc.
 LAND SURVEYING GPS MAPPING LAND CONSULTING
 46 COITAGE STREET MEDWAY, MASSACHUSETTS 02053 (508) 533-3314

DATE: 10/16/2025
 DRAWN BY: MM [CHECKED BY: DAO]
 SCALE: 1" = 20'
 PROJECT NO.: 2023-315

PROPERTY BOUNDARY &
 EXISTING CONDITIONS

EX-1.0



REFER TO GENERAL NOTE SHEET FOR DEMOLITION NOTES

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PROJECT: PROPOSED MIXED USE REDEVELOPMENT
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 NORTH ATTLEBORO, MA 02760

PREPARED FOR: 847 EAST WASHINGTON LLC
 134 WALCOTT RD
 NORTH ATTLEBORO, MA 02760

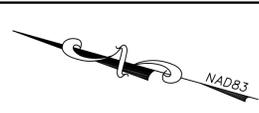
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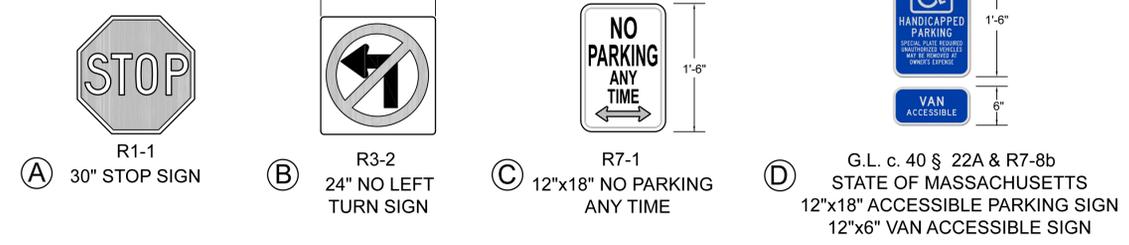
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DEMOLITION PLAN

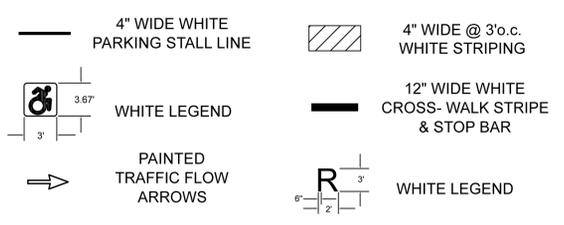
D-1.0



SIGN LEGEND:



PAVEMENT STRIPING LEGEND:



**ZONING INFORMATION TABLE - NORTH ATTLEBORO, MA
#847 E WASHINGTON STREET, NORTH ATTLEBORO**

PREPARED FOR: 847 EAST WASHINGTON LLC 134 WALCOTT RD NORTH ATTLEBORO, MA 02760
CURRENT OWNERS: 847 EAST WASHINGTON LLC 134 WALCOTT RD NORTH ATTLEBORO, MA 02760
ASSESSOR'S MAP ID: MAP 6, LOT 159
DEED: BK 28562 PG 115 (#847)
EXISTING ZONE: C-7.5 (RETAIL DISTRICTS (7,500 SQ.FT. AREA))
NEAREST RESIDENTIAL ZONE: R-10 (INTENSIVE RESIDENTIAL (10,000 SQ.FT.AREA)) SHALL APPLY TO MULTIFAMILY USE ON PROPERTY
EXISTING USE: CLOSED MILITARY SURPLUS STORE
PROPOSED USE: REDEVELOPMENT AS MIXED RESIDENTIAL/BUSINESS USE WHERE ALL DWELLING UNITS ARE ABOVE FIRST FLOOR LEVEL(SPECIAL USE PERMIT)
ZONING BY-LAWS SECTION III - APPLICATION OF DISTRICT REGULATIONS:
C. MIXED USES:
"IN CASES OF MIXED OCCUPANCY, THE REGULATION FOR EACH USE SHALL APPLY TO THE PORTION OF THE BUILDING OR LAND SO USED."
NOTE: C-7.5 ZONING APPLIES TO PROPOSED UNIT #1 W/ FIRST FLOOR RETAIL.
R-10 ZONING APPLIES TO PROPOSED UNITS #2 - 7.

EXISTING ZONING REQUIREMENTS	REQUIRED	EXISTING	PROPOSED
LOT SIZE (MIN.)	7,500 S.F. (C-7.5) 27,500 S.F. (R-10)**	17,100 S.F.± (0.39 Acres)	17,100 S.F.± (0.39 Acres)
FRONTAGE (MIN.)	60 FT. (C-7.5) 100 FT. (R-10)	100.57 FT.	100.57 FT.
LOT WIDTH (MIN.)	60 FT. (C-7.5) 100 FT. (R-10)	100 FT.±	100 FT.±
LOT DEPTH (MIN.)	100 FT. (C-7.5) 150 FT. (R-10)	162.6 FT.	162.6 FT.
FRONT SETBACK (MIN.)	10 FT. (C-7.5) 30 FT. (R-10)	22.0 FT.±	12.7 FT.± 30.7 FT.±
SIDE SETBACK (MIN.)	0 FT. (C-7.5) 15 FT. (R-10)	4.2 FT.±	16 FT.± 16 FT.±
REAR SETBACK (MIN.)	25 FT. (C-7.5) 30 FT. (R-10)	1.3 FT.±*	25.8 FT.± 141.3 FT.±
BLDG. HEIGHT (MAX.)	4 STY/40 FT. (C-7.5) 2 1/2 STY/30 FT. (R-10)**	<40 FT.	4 STY (<40 FT.) 4 STY (<40 FT.)**
OPEN SPACE (MIN.)	25% (C-7.5) 50% (R-10)**	1,900 S.F. (11.1%)*	7,015 S.F. (41.0%) 7,015 S.F. (41.0%)**
LOT BLDG. COVERAGE (MAX.)	50% (C-7.5) 35% (R-10)	5,350 S.F. (31.3%)	3,495 S.F. (20.4%) 3,495 S.F. (20.4%)

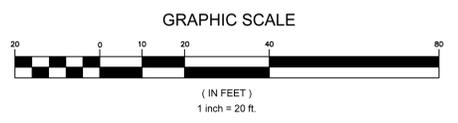
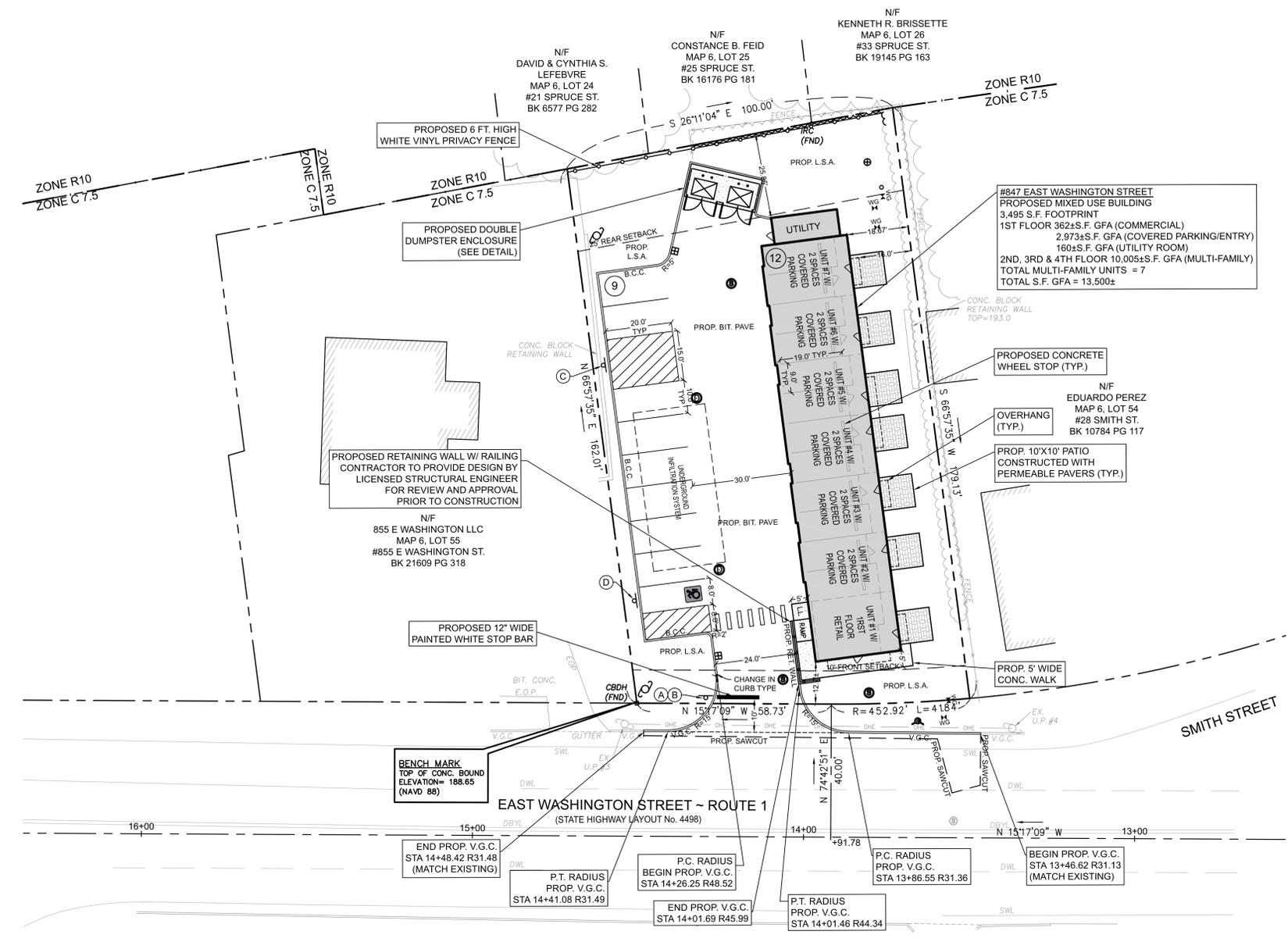
- *EXISTING NON-CONFORMING
**ZONING BOARD OF APPEALS SPECIAL PERMITS AND VARIANCES
- SPECIAL PERMIT FOR MIXED USES, PERMITTING RESIDENTIAL UNITS TO BE LOCATED ABOVE THE FIRST FLOOR IN A C-7.5 COMMERCIAL ZONE.
 - VARIANCE FOR MINIMUM LOT AREA FOR THE RESIDENTIAL UNITS, ALLOWING A LOT AREA OF 17,100 SQUARE FEET, WHEREAS THE REQUIRED MINIMUM IS 27,500 SQUARE FEET.
 - VARIANCE FOR MAXIMUM BUILDING HEIGHT ALLOWING A FOUR-STORY BUILDING, ALIGNING WITH THE C-7.5 DISTRICT'S LIMIT OF 40 FEET AND FOUR STORIES.
 - VARIANCE FOR OPEN SPACE REQUIREMENT TO PERMIT 40.69% OPEN SPACE, BELOW THE STANDARD REQUIREMENT.
 - SPECIAL PERMIT FOR SCREENING TO ALLOW A SOLID FENCE WITH SUITABLE PLANTINGS ALONG THE REAR PROPERTY LINE, IN LIEU OF THE REQUIRED 35-FOOT BUFFER STRIP.
 - THE INSTALLATION OF A "NO LEFT-HAND TURN" SIGN TO BE PLACED ON THE PROPERTY TO ENSURE TRAFFIC SAFETY ON ROUTE ONE.

PROPOSED PARKING CALCULATION:

	REQUIRED	PROPOSED
Retail, Service, Finance, Insurance or Real Estate Establishment (1 Space / 250 s.f. GFA)		
350 S.F. x (1/ 250 s.f. GFA) = 2 Spaces	2 Spaces	3 Spaces
Dwelling, Multi-family (2 Spaces / Unit)		
7 Units x (2 Spaces) = 14 Spaces	14 Spaces	18 Spaces
Total Spaces	16 Spaces	21 Spaces*

*INCLUDES HC SPACE
Marked Handicap Accessible Spaces (1-25 Spaces) 1 Van Accessible

1 HC Space	1 HC Space
------------	------------



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REFER TO GENERAL NOTE SHEET FOR SITE NOTES

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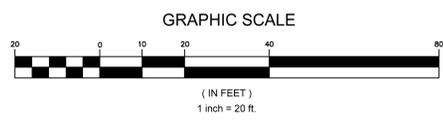
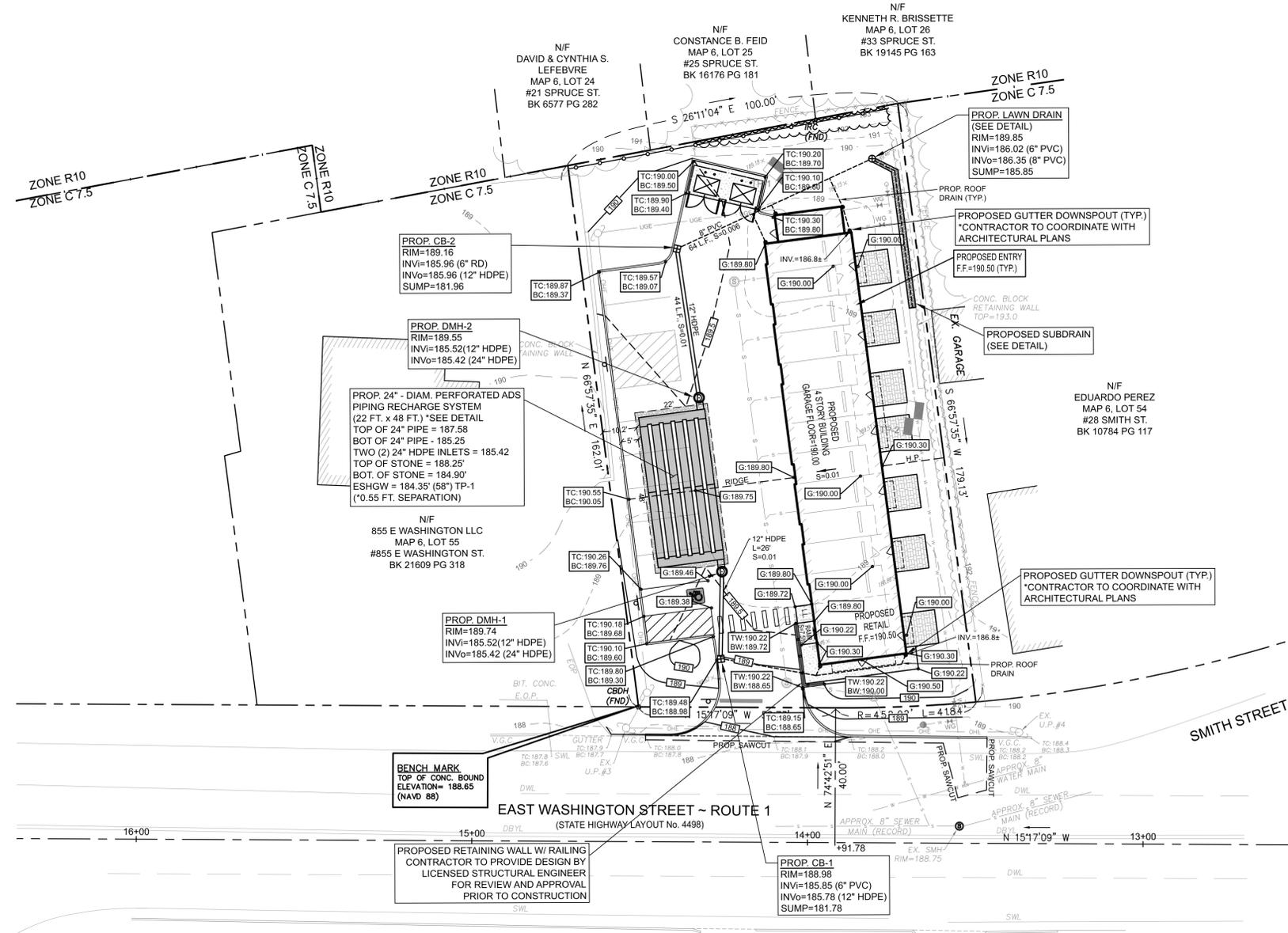
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NORTH ATTLEBORO, MA 02760
847 EAST WASHINGTON LLC
134 WALCOTT RD
NORTH ATTLEBORO, MA 02760

ENGINEERING SERVICES ENVIRONMENTAL SERVICES
67 Hall Road
Sturbridge, MA 01566
Phone: 774-241-0901
fax: 774-241-0906



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SITE LAYOUT PLAN



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REFER TO GENERAL NOTE SHEET
 FOR GRADING & DRAINAGE
 NOTES

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 NORTH ATTLEBORO, MA 02760

PREPARED FOR:
 847 EAST WASHINGTON LLC
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 NORTH ATTLEBORO, MA 02760

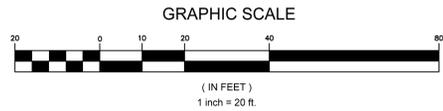
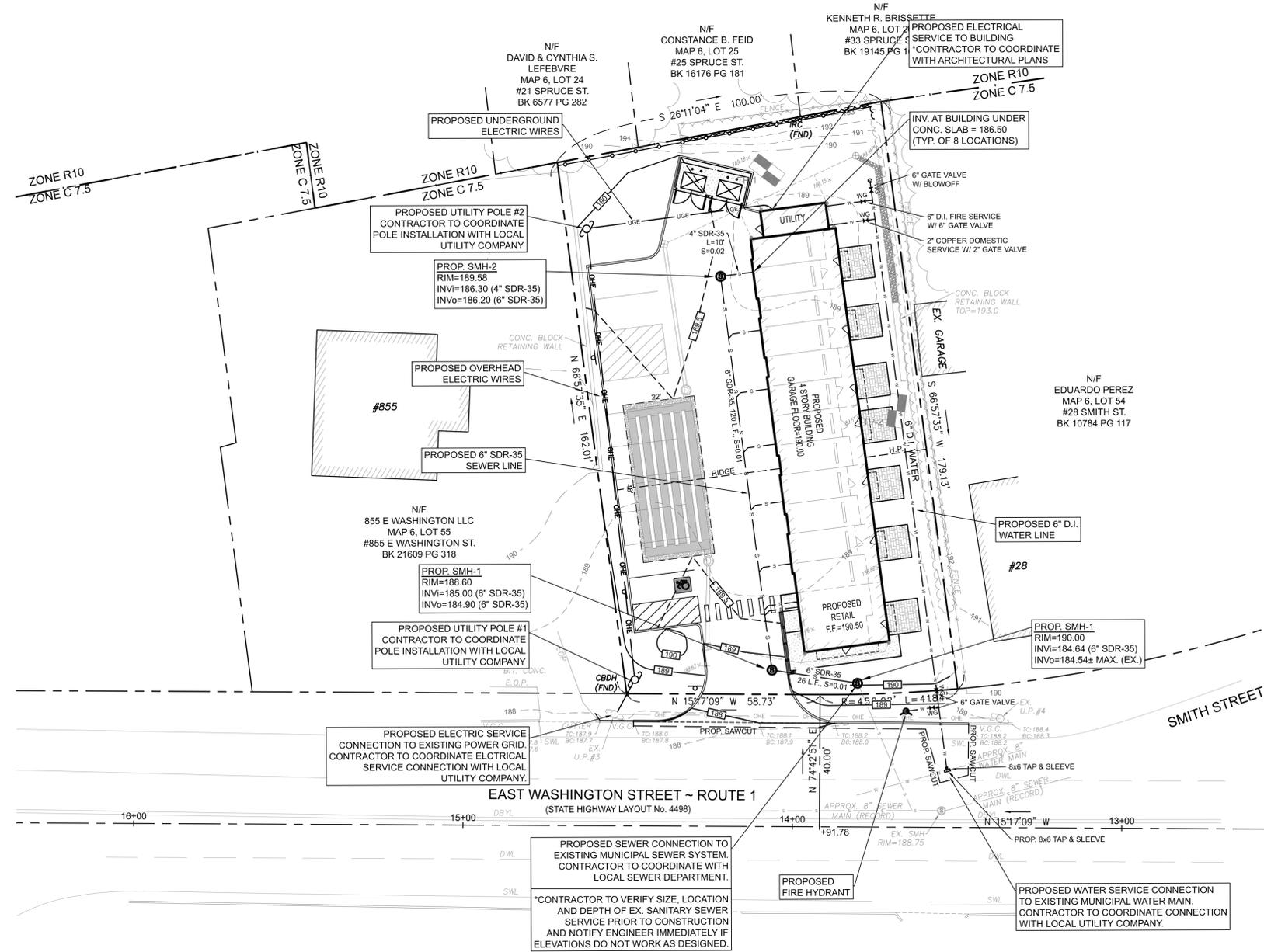
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GRADING & DRAINAGE
 PLAN



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REFER TO GENERAL NOTE SHEET
 FOR UTILITY NOTES

- CONTACTS:**
- NORTH ATTLEBORO PUBLIC WORKS DEPARTMENT
 PUBLIC WORKS ADMINISTRATION
 MARK L. HOLLOWELL - DPW DIRECTOR
 49 WHITING STREET
 NORTH ATTLEBORO, MA 02760
 PHONE: (508) 695-9621
 FAX: (508) 643-0568
 - NORTH ATTLEBORO PUBLIC WORKS DEPARTMENT
 WATER AND SEWER DIVISION
 MARK L. HOLLOWELL - DPW DIRECTOR
 49 WHITING STREET
 NORTH ATTLEBORO, MA 02760
 PHONE: (508) 695-7790
 - NORTH ATTLEBORO FIRE DEPARTMENT
 CHRISTOPHER COLEMAN - FIRE CHIEF/
 EMERGENCY MANAGEMENT DIRECTOR
 50 ELM STREET
 NORTH ATTLEBORO, MA 02760
 PHONE: (508) 699-0140
 FAX: (508) 643-0296
 - NORTH ATTLEBORO POLICE DEPARTMENT
 RICHARD MCQUADE - CHIEF OF POLICE
 102 SOUTH WASHINGTON STREET
 NORTH ATTLEBORO, MA 02760
 PHONE: (508) 695-1212
 FAX: (508) 699-6303

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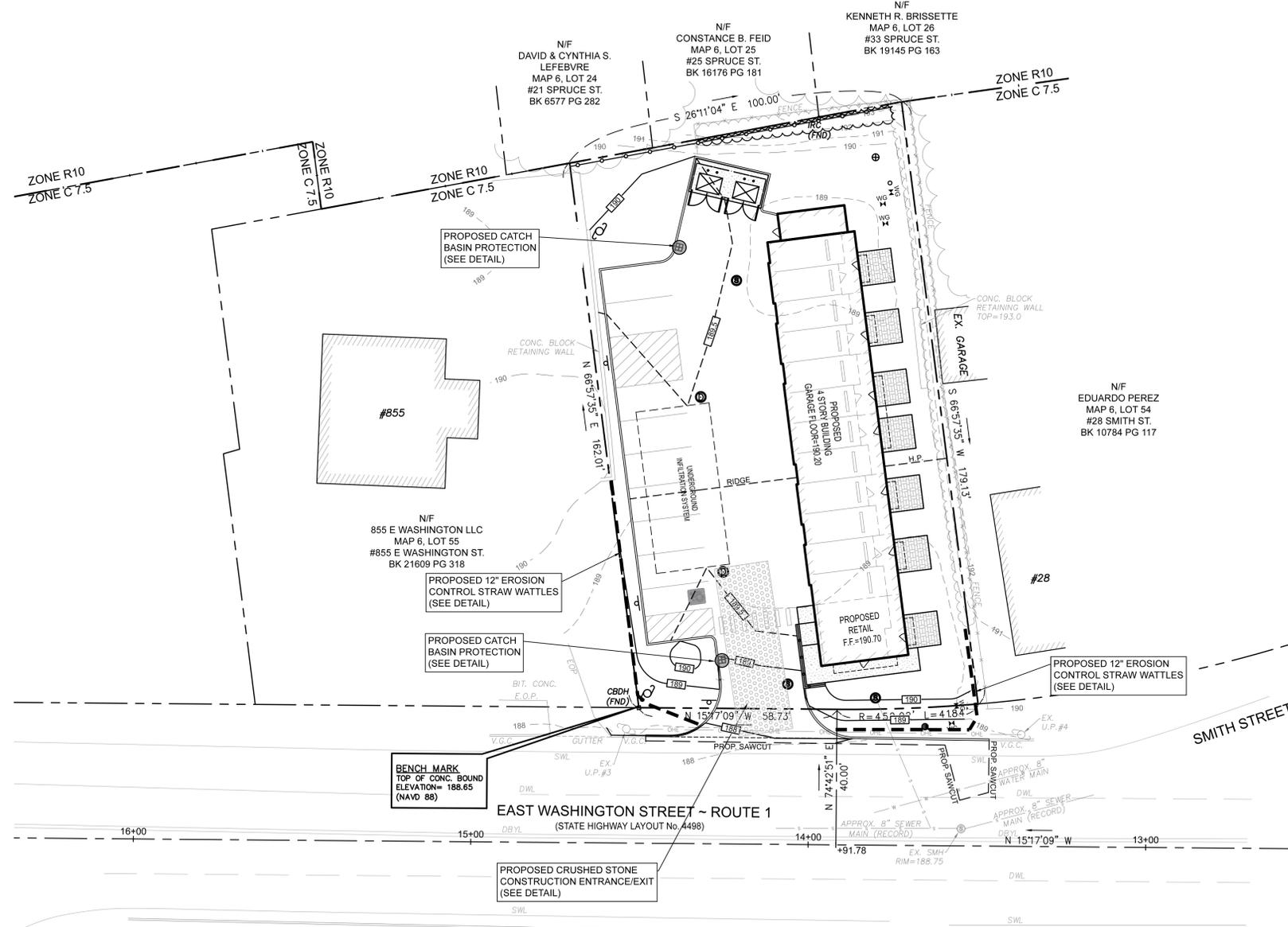
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UTILITY PLAN
 C-3.0



RESPONSIBILITIES OF OWNER/PERMITEE

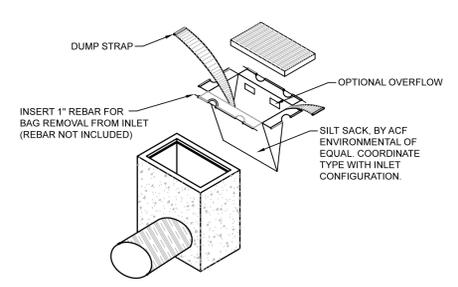
THE OWNER/PERMITEE SHALL:

- PROVIDE THE CONTRACTOR WITH COPIES OF LAND-USE PERMITS THAT OWNER HAS ACQUIRED.
- INFORM ALL PARTIES INVOLVED WITH THE PROPOSED SITE WORK OF THIS PLAN'S OBJECTIVES AND REQUIREMENTS.

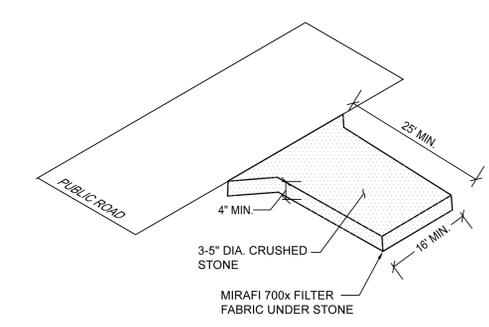
RESPONSIBILITIES OF CONTRACTOR

THE CONTRACTOR IS RESPONSIBLE FOR PREVENTING EROSION OF THE SITE AND FOR PROTECTING ADJACENT STORM SEWERS AND WATERWAYS FROM SEDIMENTATION.

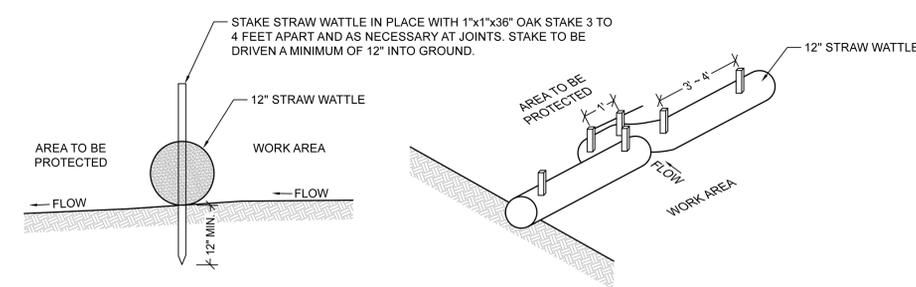
- INSTALL, MONITOR, AND MAINTAIN OF THE SOIL EROSION AND SEDIMENT CONTROL MEASURES AS SHOWN ON THIS PLAN.
- COMPLY WITH ALL PERMIT REQUIREMENTS.



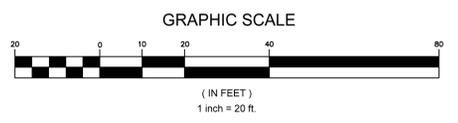
SILT SACK DETAIL
NOT TO SCALE



CONSTRUCTION ENTRANCE/EXIT DETAIL
NOT TO SCALE



STRAW WATTLE DETAIL
NOT TO SCALE



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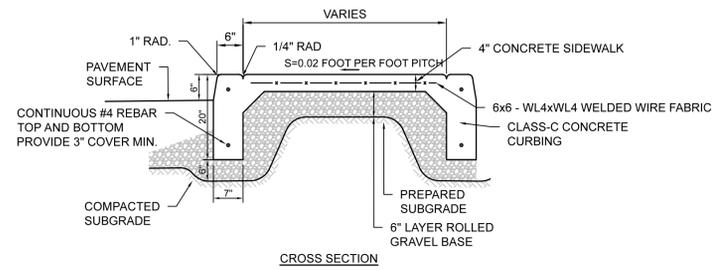


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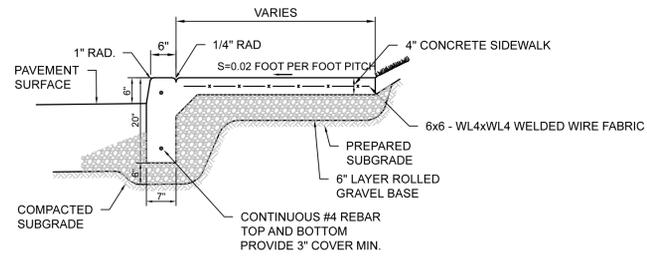
EROSION & SEDIMENT CONTROL PLAN

C-4.0

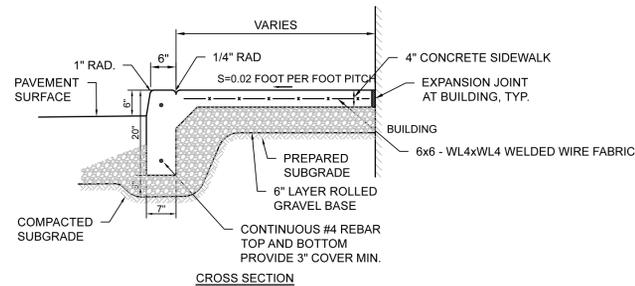
- GENERAL CONDITIONS:**
- IF EROSION CONTROL MEASURES ARE DAMAGED BY CONSTRUCTION VEHICLES, ACTS OF VANDALISM, OR SEVERE WEATHER CONDITIONS, THE CONTRACTOR SHALL IMMEDIATELY REMOVE SEDIMENT IN THE VICINITY OF THE EROSION CONTROL MEASURES AND REPAIR THESE MEASURES TO A FUNCTIONAL CONDITION.
 - IF, DURING OR AFTER CONSTRUCTION, IT BECOMES APPARENT THAT EXISTING EROSION CONTROL MEASURES ARE INCAPABLE OF CONTROLLING EROSION, THE ENGINEER OR THE CITY MAY REQUIRE ADDITIONAL CONTROL MEASURES INCLUDING, BUT NOT LIMITED TO: ADDITIONAL WATTLES, SILT FENCE, SEDIMENT BASINS, MECHANICALLY ANCHORED MULCH, OR ENHANCED DEWATERING FILTRATION.
 - NO CONSTRUCTION SHALL PROCEED UNTIL A WRITTEN PROPOSAL OF METHODS TO PREVENT CONSTRUCTION DEBRIS, PAINT, SPENT BLAST MATERIALS, OR OTHER MATERIALS FROM ENTERING A STORM SEWER, THE WETLAND, OR WATERCOURSE HAS BEEN SUBMITTED BY THE CONTRACTOR TO THE OWNER AND APPROVED BY THE OWNER, AND SUCH METHODS HAVE BEEN IMPLEMENTED AS THE OWNER DIRECTS. THESE MATERIALS SHALL BE COLLECTED AND DISPOSED OF IN AN ENVIRONMENTALLY SAFE MANNER IN ACCORDANCE WITH ALL APPLICABLE FEDERAL AND STATE LAWS AND REGULATIONS. THE OWNER MAY ORDER THE CONTRACTOR TO CEASE SUCH ACTIVITY TEMPORARILY IF, IN THE JUDGEMENT OF THE OWNER, WIND OR STORM CONDITIONS THREATEN TO CAUSE THE DEPOSIT OF SUCH MATERIALS INTO A WATERWAY.
 - ALL TEMPORARILY FILL SHALL BE STABILIZED DURING USE TO PREVENT EROSION AND SHALL BE SUITABLY CONTAINED TO PREVENT SEDIMENT OR OTHER PARTICULATE MATTER FROM ENTERING A WETLAND OR WATERCOURSE. ALL AREAS AFFECTED BY TEMPORARY FILLS MUST BE RESTORED TO THEIR ORIGINAL CONTOURS OR AS DIRECTED BY THE OWNER, AND REVEGETATED. THE AREAL EXTENT OF TEMPORARY FILL OR EXCAVATION SHALL BE CONFINED TO THAT AREA NECESSARY TO PERFORM THE WORK, AS APPROVED BY THE OWNER.
 - DUMPING OF OIL, CHEMICALS OR OTHER DELETERIOUS MATERIALS ON THE GROUND IS FORBIDDEN. THE CONTRACTOR SHALL PROVIDE A MEANS OF CATCHING, RETAINING, AND PROPERLY DISPOSING OF DRAINED OIL, REMOVED OIL FILTERS, OR OTHER DELETERIOUS MATERIAL. ALL SPILLS OF SUCH MATERIALS SHALL BE REPORTED IMMEDIATELY BY THE CONTRACTOR TO APPROPRIATE CITY AND STATE AGENCIES.
 - EPA-NPDES STORMWATER POLLUTION PREVENTION PLAN (SWPPP) FOR CONSTRUCTION ACTIVITIES NOT REQUIRED.
 - INSPECTIONS: EROSION CONTROL SHALL BE INSPECTED WEEKLY OR AFTER A STORM EVENT WITH 0.25" PRECIPITATION ACCUMULATION. INSPECTION SHALL BE RECORDED IN A LOG ALONG WITH TIME AND DATE. LOG SHALL BE AVAILABLE FOR INSPECTION BY THE TOWN OFFICIALS UPON REQUEST.



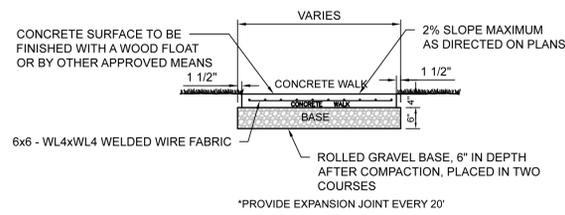
CROSS SECTION



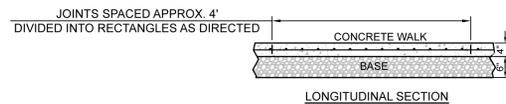
CROSS SECTION



CROSS SECTION



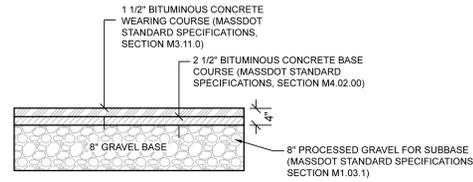
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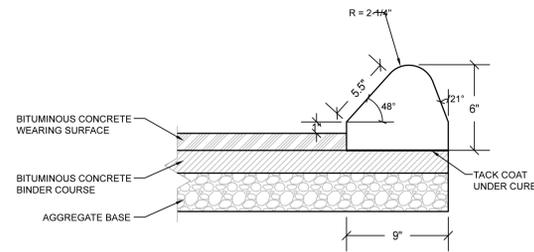
LONGITUDINAL SECTION

- NOTES:**
1. PROVIDE EXPANSION JOINTS EVERY 20 FT. ALONG SIDEWALK AND CURBING. EXPANSION JOINTS IN CURBING AND SIDEWALK SHALL BE COINCIDENT.
 2. PROVIDE CONSTRUCTION JOINTS EVERY 4 FT. ALONG SIDEWALK.
 3. PROVIDE CONTINUOUS CONSTRUCTION JOINT ALONG BACK OF CURBING.

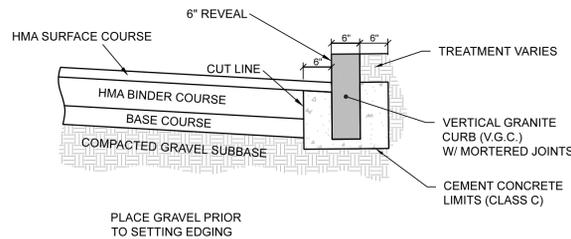
CONCRETE SIDEWALK DETAIL
NOT TO SCALE



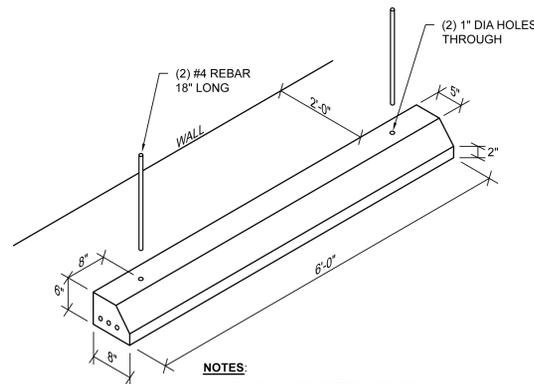
ON-SITE ASPHALT PAVEMENT DETAIL
NOT TO SCALE



BITUMINOUS CURB DETAIL
NOT TO SCALE

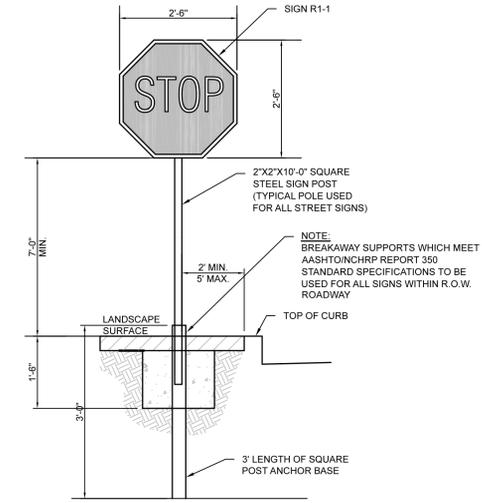


VERTICAL GRANITE CURB DETAIL
NOT TO SCALE

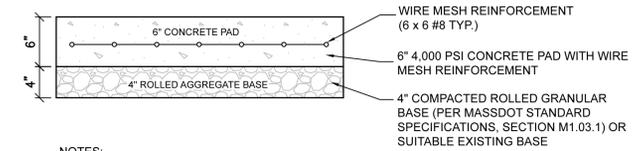


- NOTES:**
1. CLASS "A" CONCRETE (4,000 PSI).
 2. REINFORCED WITH (3) #3 RODS.
 3. WHEEL STOPS TO BE SET 2 FEET OFF OF WALL AND SECURED WITH (2) #4 REBAR 18" LONG.

CONCRETE WHEEL STOP DETAIL
NOT TO SCALE

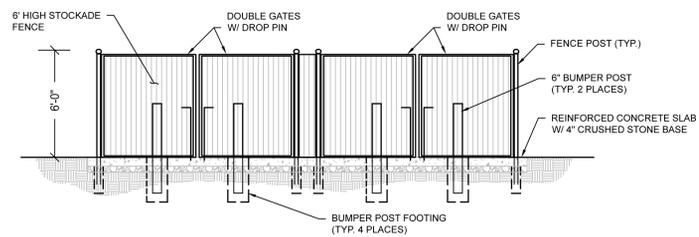
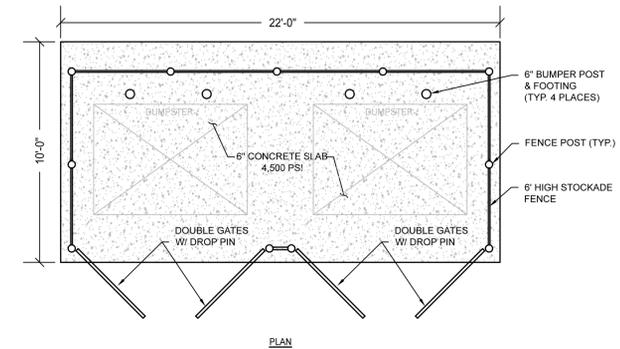


TYPICAL TRAFFIC SIGN DETAIL
NOT TO SCALE



- NOTES:**
1. CONCRETE SHALL HAVE MINIMUM STRENGTH OF 4,000 PSI
 2. WELDED WIRE FABRIC MATS WITH REINFORCEMENT AT CLOSER SPACING MAY BE USE

CONCRETE SLAB DETAIL FOR DUMPSTER
NOT TO SCALE



DOUBLE DUMPSTER ENCLOSURE
NOT TO SCALE

NO.	DATE	DESCRIPTION	BY	CHKD



PROPOSED MIXED USE REDEVELOPMENT
847 EAST WASHINGTON STREET
NORTH ATTLEBORO, MA 02760

847 EAST WASHINGTON LLC
 134 WALCOTT RD
 NORTH ATTLEBORO, MA 02760

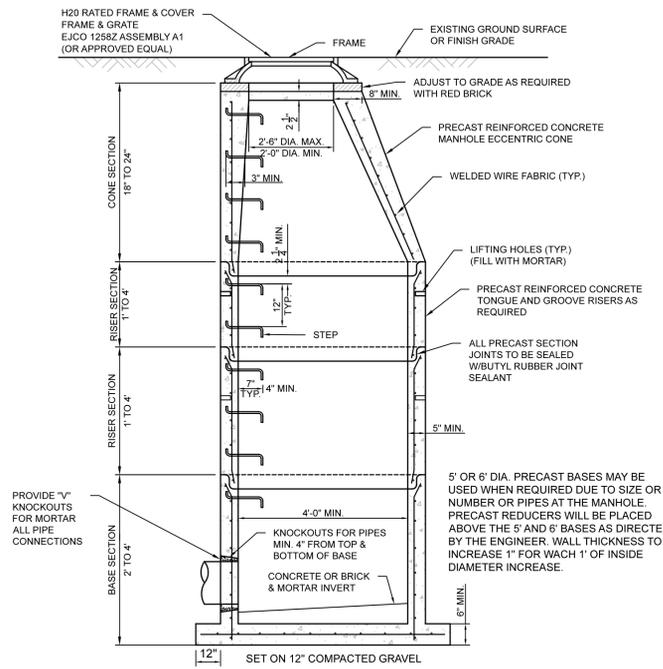
ENGINEERING SERVICES
 ENVIRONMENTAL SERVICES
 67 Hall Road
 Sturbridge, MA 01566
 Phone: 774-241-0901
 fax: 774-241-0906



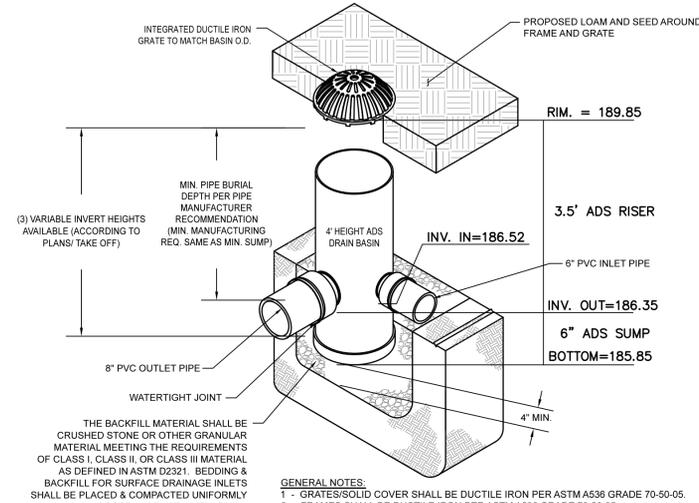
ISSUE DATE: 10/22/2025
 DRAWN BY: MM CHECKED BY: DF
 SCALE: N.T.S.
 PROJECT NO.: 2023-315

CONSTRUCTION
 DETAILS

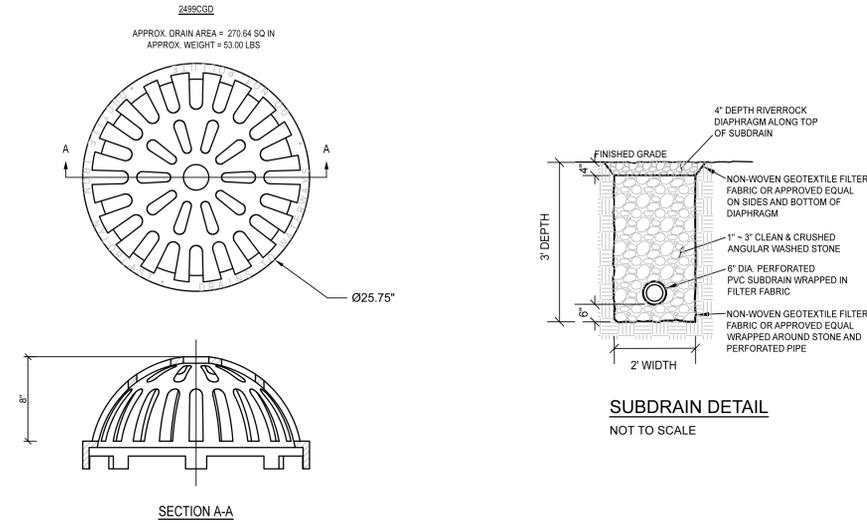
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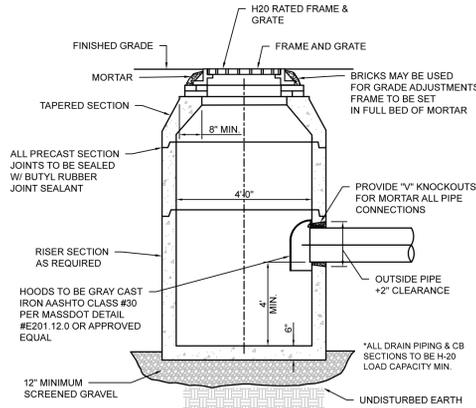
PRECAST DRAIN MANHOLE DETAIL
NOT TO SCALE



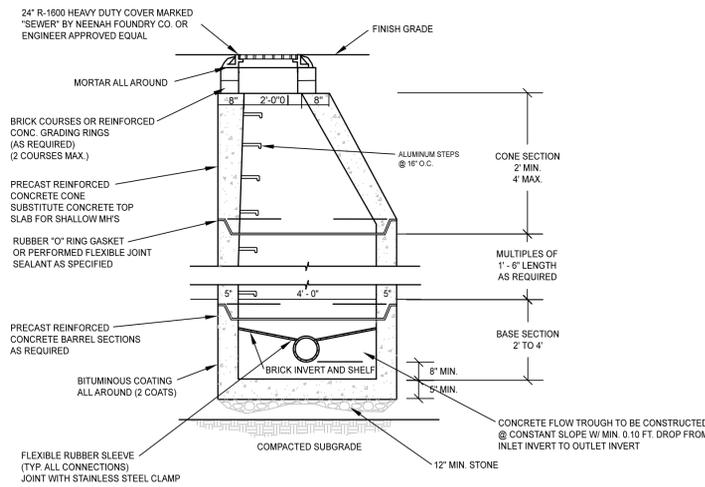
NYLOPLAST LAWN DRAIN DETAIL
NOT TO SCALE



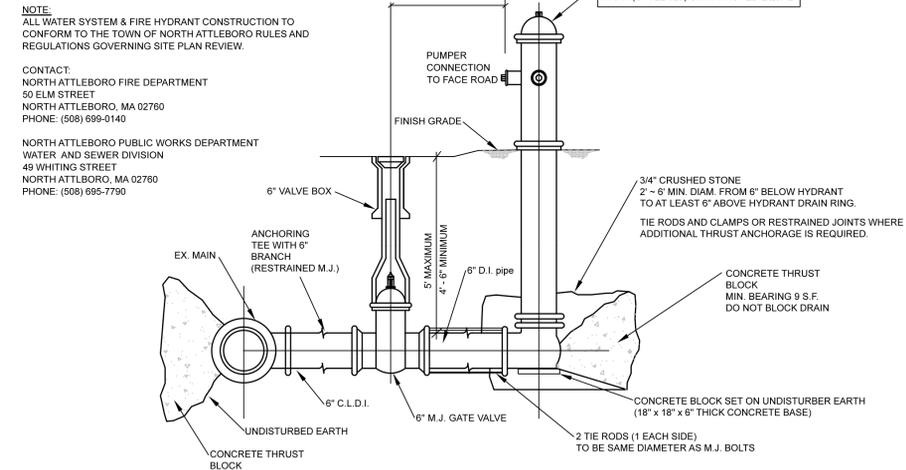
NYLOPLAST DOME GRATE DETAIL
NOT TO SCALE



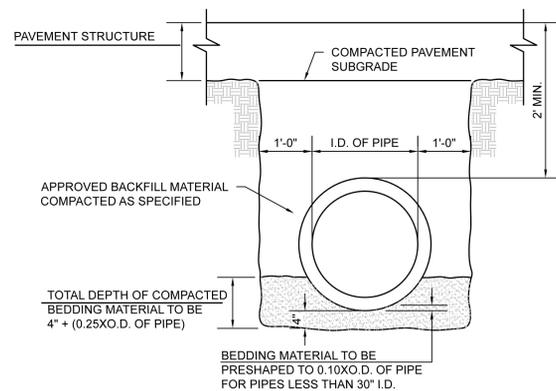
DEEP SUMP CATCH BASIN DETAIL
NOT TO SCALE



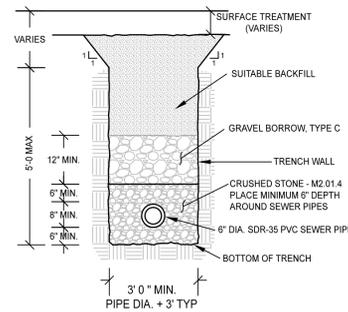
PRECAST SEWER MANHOLE DETAIL
NOT TO SCALE



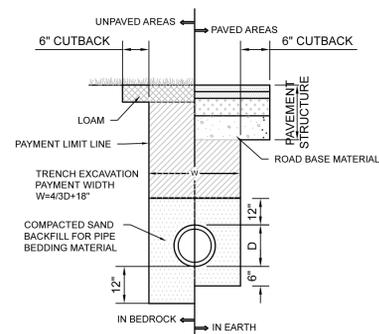
FIRE HYDRANT DETAIL
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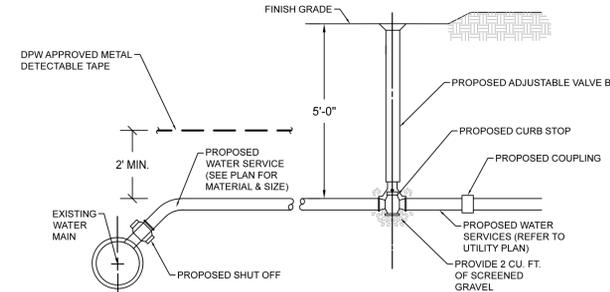
STORM SEWER TRENCH DETAIL
NOT TO SCALE



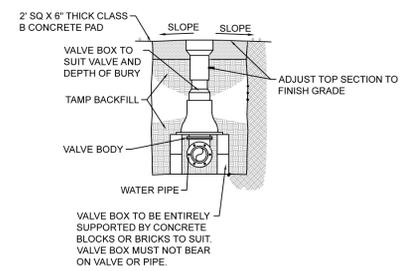
SEWER TRENCH DETAIL
NOT TO SCALE



UTILITY TRENCH DETAIL
NOT TO SCALE



WATER SERVICE CONSTRUCTION DETAIL
NOT TO SCALE



WATER GATE VALVE DETAIL
NOT TO SCALE

NO.	DATE	DESCRIPTION	BY	CHKD



PROPOSED MIXED USE REDEVELOPMENT
847 EAST WASHINGTON STREET
NORTH ATTLEBORO, MA 02760

847 EAST WASHINGTON LLC
134 WALCOTT RD
NORTH ATTLEBORO, MA 02760

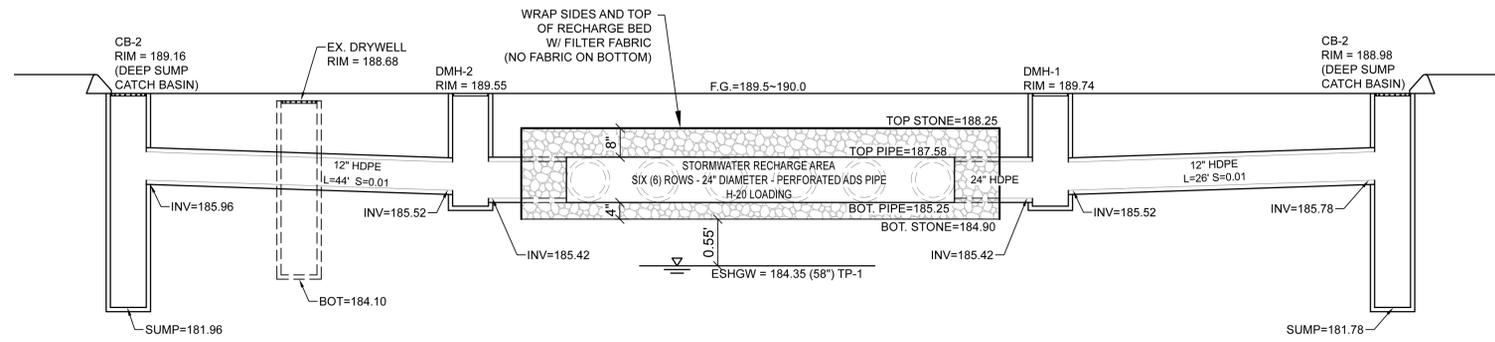
ENGINEERING SERVICES
ENVIRONMENTAL SERVICES

67 Hall Road
Sturbridge, MA 01566
Phone: 774-241-0901
fax: 774-241-0906

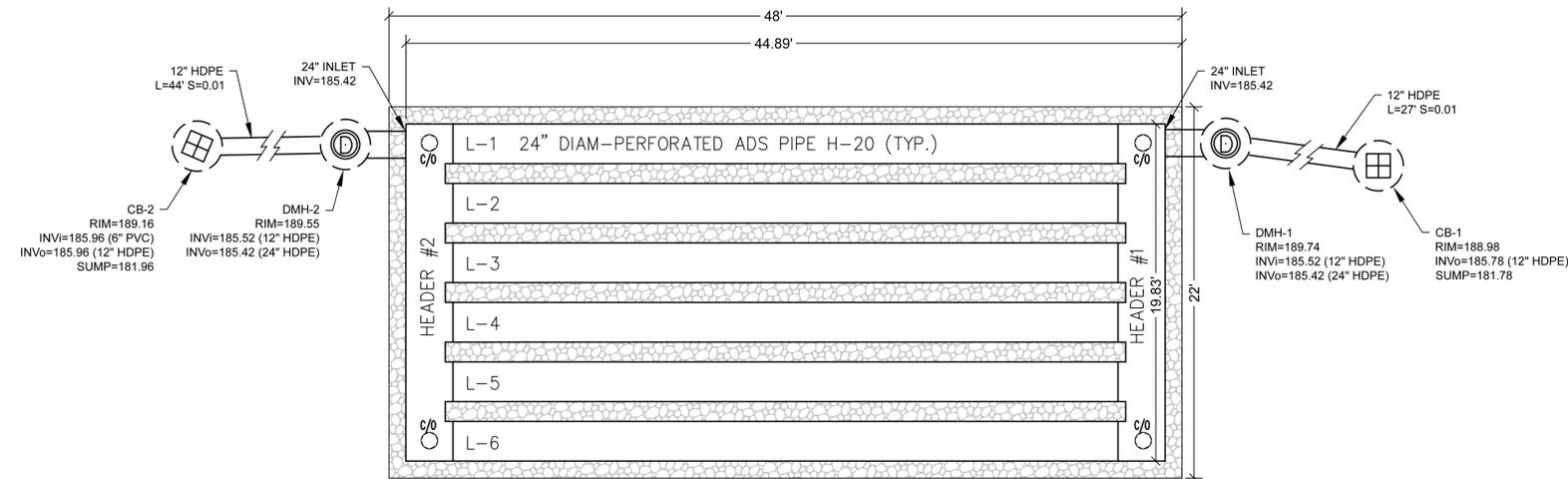


ISSUE DATE: 10/22/2025
DRAWN BY: MM CHECKED BY: DF
SCALE: N.T.S.
PROJECT NO.: 2023-315

CONSTRUCTION
DETAILS

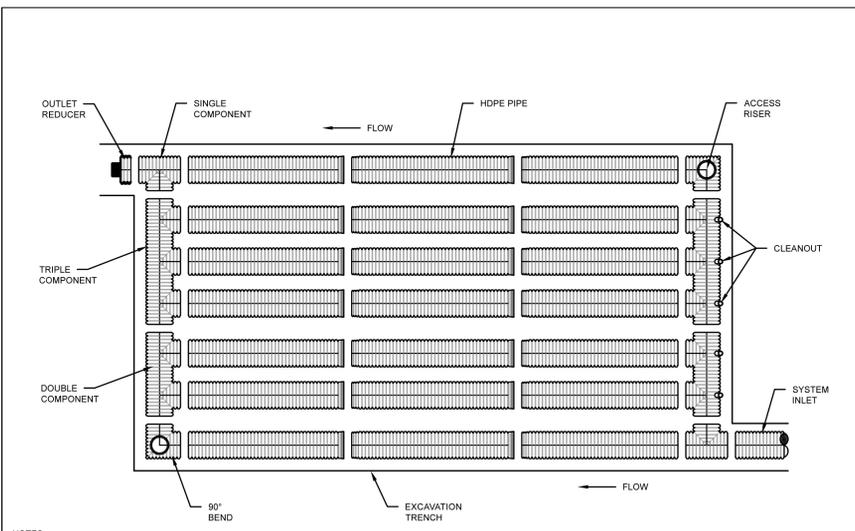


CROSS-SECTION DETAIL OF STORMWATER RECHARGE SYSTEM
NOT TO SCALE

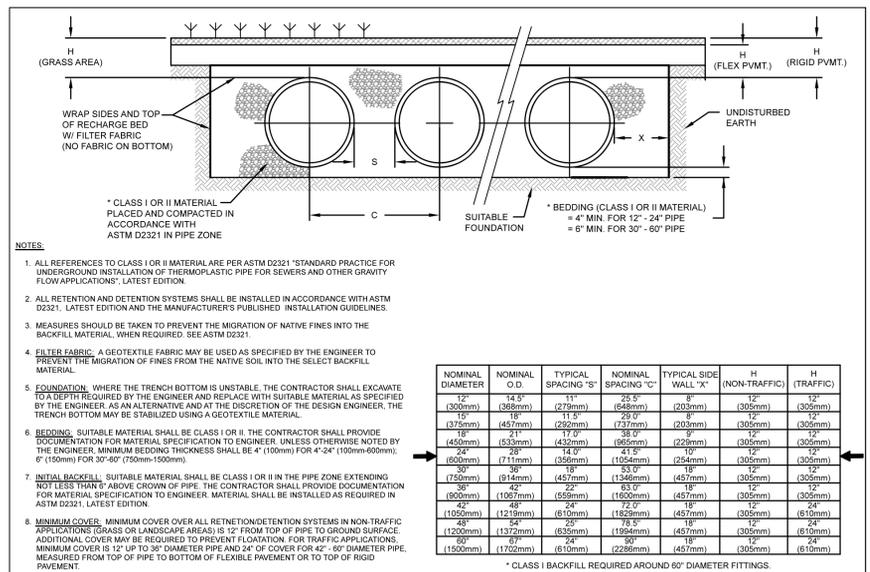


*SIX (6) ROWS - 24" DIAMETER - PERFORATED ADS PIPE

PARKING LOT - TREATMENT & RECHARGE SYSTEM
NOT TO SCALE

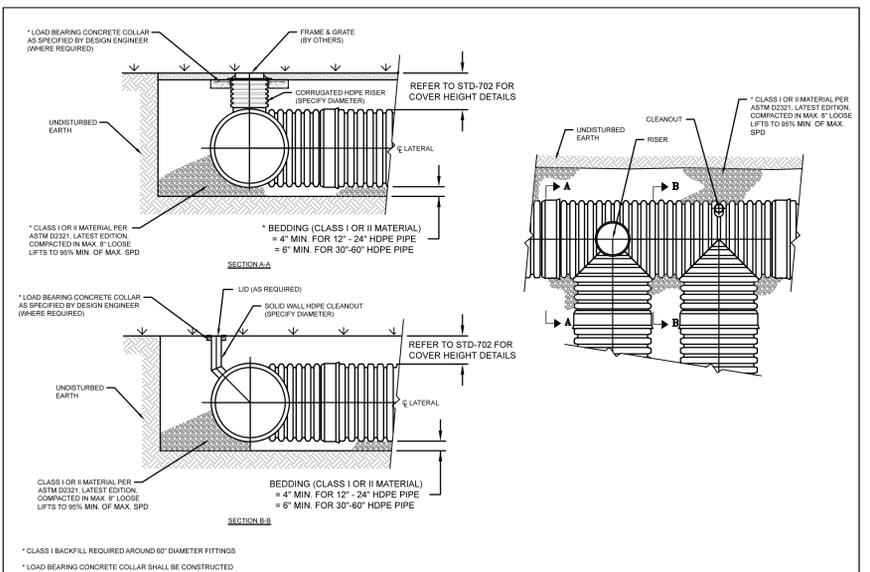


NOTES:
1. FOR INSTALLATION RECOMMENDATIONS, SEE 702 RETENTION-DETECTION SYSTEM (CROSS-SECTION) AND 703 RETENTION-DETECTION SYSTEM (RISER AND CLEANOUTS)



2	GENERAL UPDATES AND RENAMED	TJR	02/19/16	-	
1	ISSUED FOR PERMIT	TJR	02/19/16	CMG	

ADVANCED DRAINAGE SYSTEMS, INC. ("ADS") HAS PREPARED THIS DETAIL BASED ON INFORMATION PROVIDED TO ADS. THIS DRAWING IS INTENDED TO DEPICT THE COMPONENTS AS REQUESTED. ADS HAS NOT PERFORMED ANY ENGINEERING OR DESIGN SERVICES FOR THIS PROJECT. NOR HAS ADS INDEPENDENTLY VERIFIED THE INFORMATION SUPPLIED. THE INSTALLATION DETAILS PROVIDED HEREIN ARE GENERAL RECOMMENDATIONS AND ARE NOT SPECIFIC FOR THIS PROJECT. THE DESIGN ENGINEER SHALL REVIEW THESE DETAILS PRIOR TO CONSTRUCTION. IT IS THE DESIGN ENGINEER'S RESPONSIBILITY TO ENSURE THE DETAILS PROVIDED HEREIN MEETS OR EXCEEDS THE APPLICABLE NATIONAL, STATE, OR LOCAL REQUIREMENTS AND TO ENSURE THAT THE DETAILS PROVIDED HEREIN ARE ACCEPTABLE FOR THIS PROJECT.



4	GENERAL UPDATES AND RENAMED	TJR	02/19/16		
1	ISSUED FOR PERMIT	TJR	02/19/16	CMG	

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PROPOSED MIXED USE REDEVELOPMENT
847 EAST WASHINGTON STREET
NORTH ATTLEBORO, MA 02760

PREPARED FOR:
847 EAST WASHINGTON LLC
134 WALCOTT RD
NORTH ATTLEBORO, MA 02760

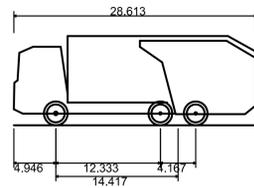
ENGINEERING SERVICES
ENVIRONMENTAL SERVICES

67 Hall Road
Sturbridge, MA 01566
Phone: 774-241-0901
fax: 774-241-0906

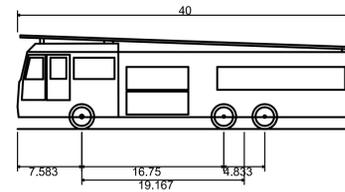
CMG EST. 2002

ISSUE DATE: 10/22/2025
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SCALE: N.T.S.
PROJECT NO.: 2023-315

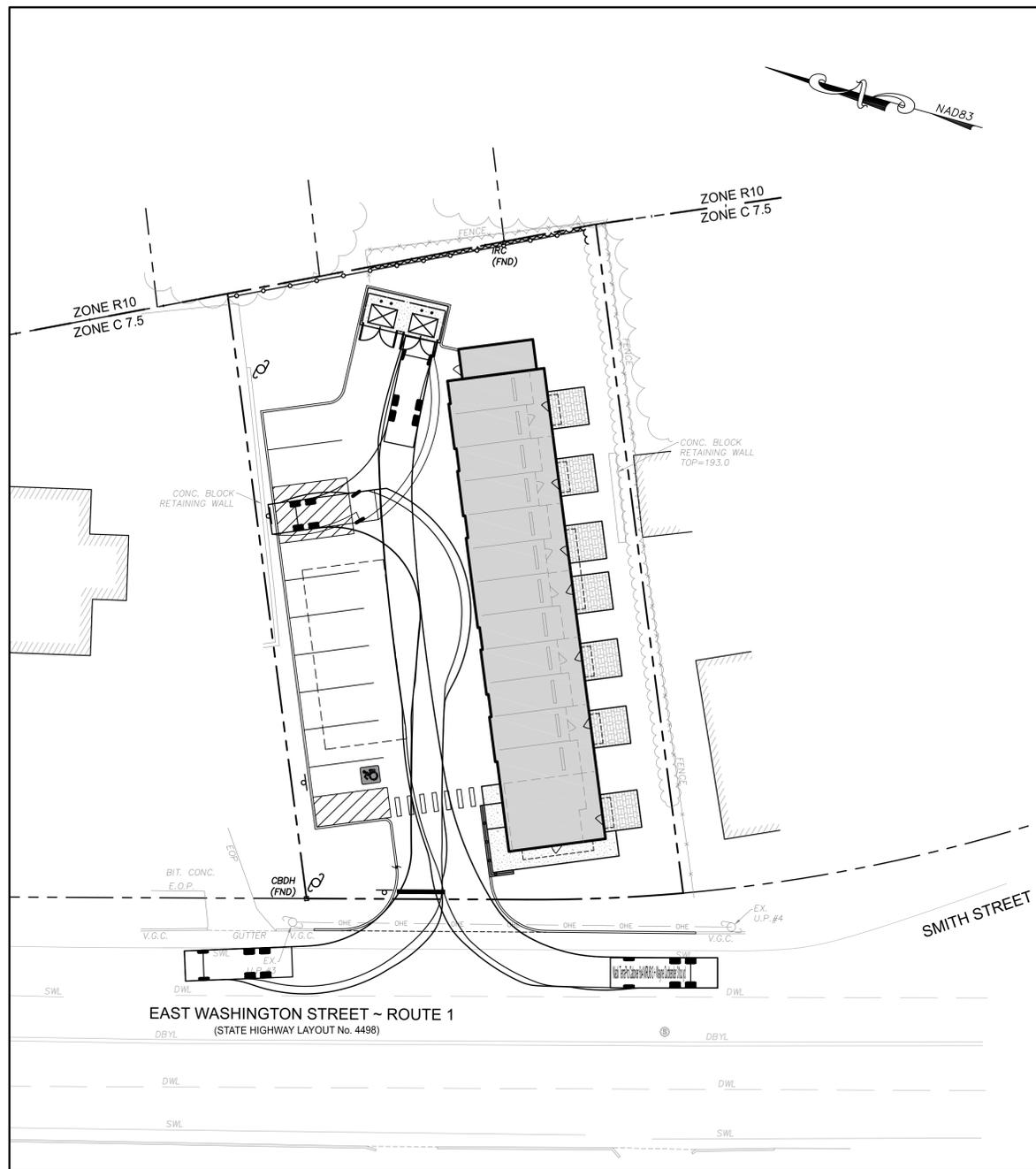
CONSTRUCTION DETAILS
C-5.2



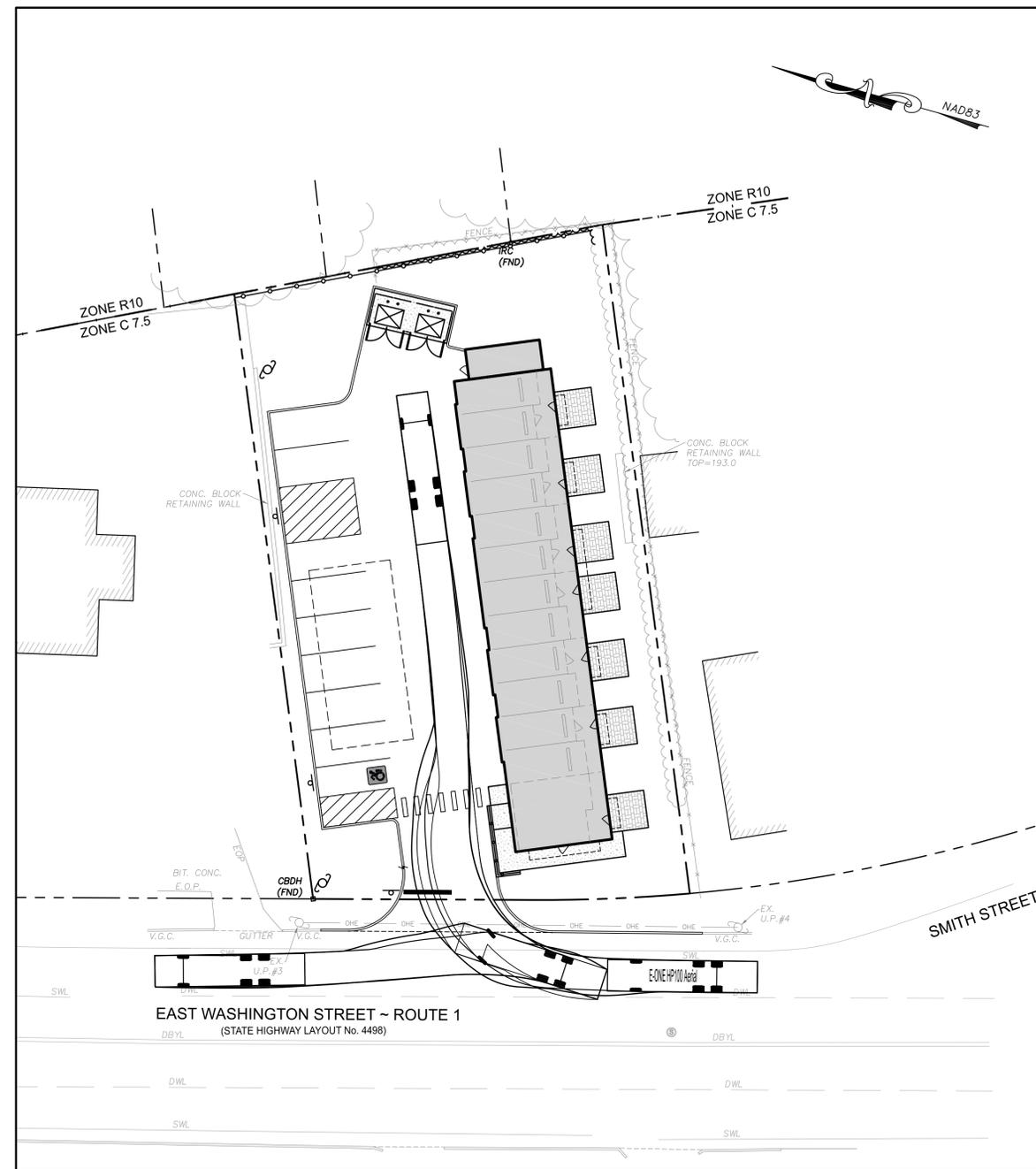
Mack TerraPro Cabover 6x4 MRU613 + Wayne Curbtender 31cu yd
 Overall Length 28.613ft
 Overall Width 8.000ft
 Overall Body Height 10.481ft
 Min Body Ground Clearance 1.311ft
 Track Width 8.000ft
 Lock-to-lock time 6.00s
 Curb to Curb Turning Radius 33.500ft



E-ONE HP100 Aerial
 Overall Length 40.000ft
 Overall Width 8.333ft
 Overall Body Height 11.000ft
 Min Body Ground Clearance 1.393ft
 Track Width 8.333ft
 Lock-to-lock time 6.00s
 Max Wheel Angle 45.00°

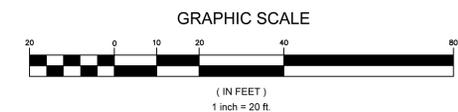


DUMPSTER TRUCK PATH ENTERING FROM NORTHBOUND OFF ROUTE 1



FIRE TRUCK PATH ENTERING FROM NORTHBOUND OFF ROUTE 1

DIG SAFE NOTE (1-888-344-7233):
 CONTRACTOR REQUIRED TO NOTIFY DIG SAFE 72 HOURS PRIOR TO ANY ON-SITE EXCAVATION OR CONSTRUCTION AT 1-888-344-7233. CONTRACTOR SHALL ALSO NOTIFY LOCAL WATER AND SEWER DEPARTMENTS TO MARK OUT THEIR UTILITIES.



NO.	DATE	DESCRIPTION	BY	CHKD



PROJECT: **PROPOSED MIXED USE REDEVELOPMENT**
847 EAST WASHINGTON STREET
NORTH ATTLEBORO, MA 02760
 PREPARED FOR: **847 EAST WASHINGTON LLC**
134 WALCOTT RD
NORTH ATTLEBORO, MA 02760

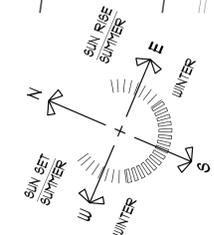
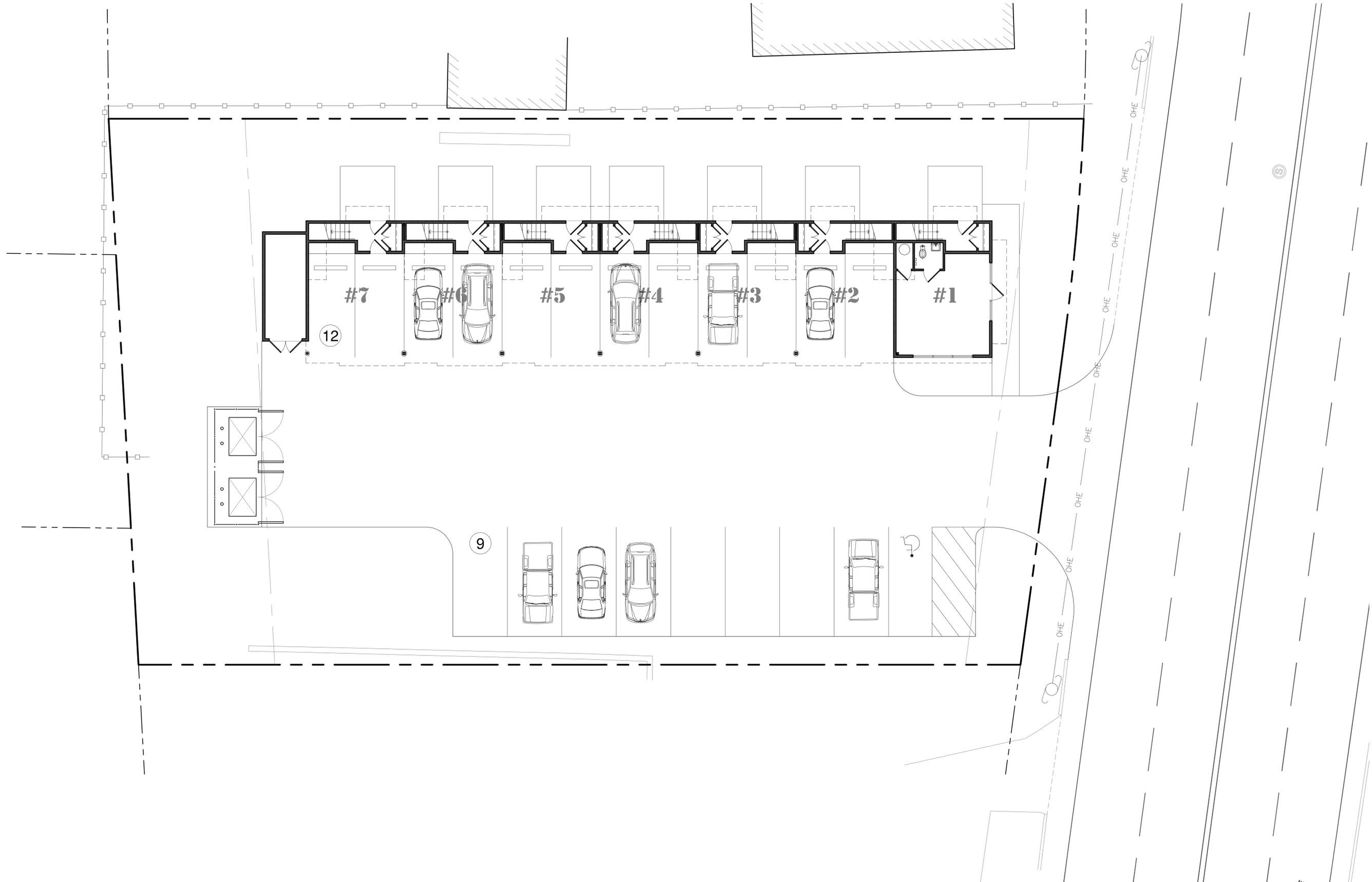
ENGINEERING SERVICES
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 Sturbridge, MA 01566
 Phone: 774-241-0901
 fax: 774-241-0906



ISSUE DATE: 10/22/2025
 DRAWN BY: MM CHECKED BY: DF
 SCALE: 1" = 20'
 PROJECT NO.: 2023-315

TRUCK TURN PLAN
 OPTION B

C-6.0



847 East Washington
 847 East Washington Street
 North Attleboro, Massachusetts
 SHEET TITLE:

SCALE: SITE PLAN
 1/8" = 1'-0"
 SHEET NO.: **A1.0**
 JOB NO.: 25066
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